



# Comprehensive Land Use Plan for the Town of Micro

ADOPTED FEBRUARY 12, 2019



# Town of Micro Comprehensive Land Use Plan

The following document serves as the Comprehensive Land Use Plan for the Town of Micro. It was adopted by the Town Board on February 12, 2019 following a recommendation by the Planning Board on January 22, 2019.

## Existing Conditions

The Town of Micro is located in northeastern Johnston County, along both US Highway 301 and Interstate 95. Its 2010 population according to the United States Census was 441. The tables below provide additional demographic information about the community based on the 2010 census.

### Sex and Age

	Age 0-19	Age 20-39	Age 40-64	Age 65+	Total
Male	62 (14%)	59 (13%)	43 (10%)	27 (6%)	191 (43%)
Female	60 (14%)	59 (13%)	53 (12%)	78 (18%)	250 (57%)
Total	122 (28%)	118 (27%)	96 (22%)	105 (24%)	441

### Race and Ethnicity

White, Non-Hispanic/Latino	341 (77%)
Black/African-American, Non-Hispanic/Latino	54 (12%)
Other Race or Multiple Races, Non-Hispanic/Latino	4 (1%)
Hispanic/Latino of any race	42 (10%)

1990 Population – 417

2000 Population – 454

2010 Population – 441

### Households and Housing Units

Total Households	188
Family Households	101 (54% of total households)
Non-family Households	87 (46% of total households)
Households with Children (0-17)	58 (31% of total households)
Households with Seniors (65+)	87 (46% of total households)
Total Housing Units	212
Occupied Housing Units	188 (89% of total housing units)
Homeowner Vacancy Rate	3%
Rental Vacancy Rate	7%
Owner-occupied Housing Units	96 (51% of total housing units)
Renter-occupied Housing Units	92 (49% of total housing units)

The data indicate that Micro is currently relatively small, with a larger-than-average population of senior residents, particularly senior women. The Town is primarily White, with the two main minority populations being African-American (12%) and Hispanic/Latino (10%). The Town's housing stock is about equally split between owner-occupied and renter-occupied.

Population growth in recent years has been relatively flat, although this could change in the future as development pressure pushes outward from the Triangle area.

## Future Conditions

### Vision for Future Development

*Future development within the Town of Micro and its extra-territorial planning jurisdiction should maintain the current small-town scale and character of the community, while also encouraging economic growth and improving the quality of life of residents.*

### Goals and Objectives for Future Development

- **Goal 1: Provide opportunities for residential housing growth**
  - 1.1 Identify desirable locations for new residential development to occur and update zoning maps/regulations accordingly
  - 1.2 Encourage infill residential development/redevelopment in existing neighborhoods that is in keeping with the scale and density of existing development in the area
  - 1.3 Ensure that new residential developments maintain the small-town scale and character of the community
- **Goal 2: Encourage economic growth in the community**
  - 2.1 Promote light industrial uses in appropriate areas of the community, but discourage heavy industrial uses that might have negative impacts on the Town's residents
  - 2.2 Encourage revitalization of retail/commercial uses in the Town's historic commercial areas near US 301 and Main Street as a center for economic activity in the community
  - 2.3 Encourage highway-oriented retail such as gas stations, restaurants, and hotels in the vicinity of the I-95 interchange, provided that adequate water and sewer service can be provided to the area and access to businesses is designed to minimize congestion issues
- **Goal 3: Ensure adequacy and appropriateness of public services and facilities**
  - 3.1 Support the continued presence of public schools in the community, and work with the school board to address items of concern such as traffic congestion
  - 3.2 Support the continued presence of emergency service facilities in the community
  - 3.3 Expand water and sewer systems as needed to support future growth of the community
  - 3.4 Work with NCDOT to address congested intersections and locations within the community with appropriate improvements
  - 3.5 Ensure that future and existing developments adequately handle stormwater, and identify necessary improvements to existing stormwater infrastructure
- **Goal 4: Improve quality of life for residents**
  - 4.1 Encourage a broad range of economic development within the community to provide more job opportunities for residents
  - 4.2 Encourage service businesses, including but not limited to medical providers, financial institutions, and restaurants, to locate within the community as an amenity for residents
  - 4.3 Encourage development to be attractive, and enforce codes as appropriate to ensure that properties are properly maintained and not a nuisance

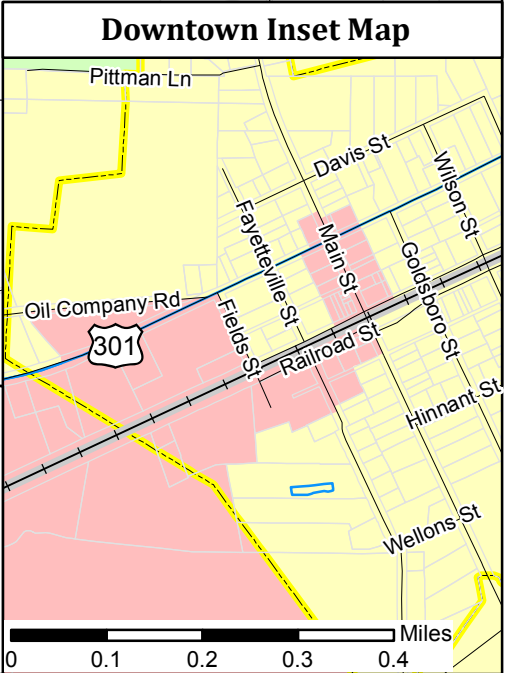
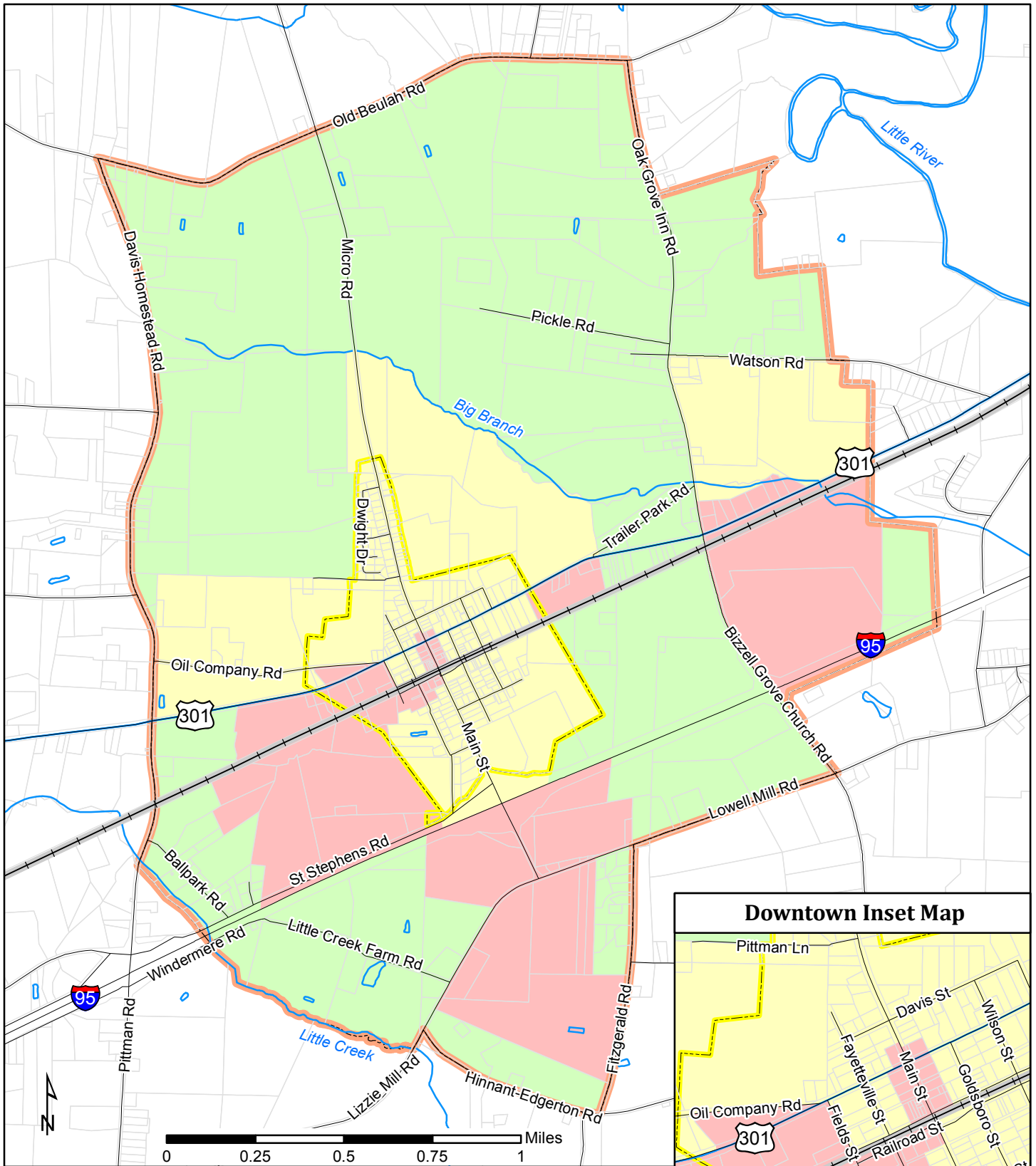
- **Goal 5: Update and maintain planning regulations as conditions change over time**
  - 5.1 Adopt the Town’s recommended Zoning Ordinance update, and continue making updates to that ordinance as appropriate over time to react to changes in the community’s needs
  - 5.2 Consider expansion of the Town’s extraterritorial jurisdiction in appropriate areas with anticipated growth

### **Future Land Use**

The map on the next page depicts a generalized vision of future land uses within the Town of Micro planning area. This map is not intended to be detailed or regulatory in the way that a zoning map would be, but rather to provide general policy guidance to the Town as it considers future changes to the town’s zoning map.

The map identifies three main categories of land use, with some flexibility in the interpretation of each category:

- **Urban Residential** – areas that are expected to be primarily residential. Could include uses compatible with the RA, R-10, R-15, or RMHP zoning districts. Limited non-residential uses that are intended to provide a service to neighboring residential areas, such as community facilities or small retail, may also be appropriate in these areas on a case-by-case basis.
- **Urban Non-residential** – areas that are expected to be primarily non-residential (commercial, industrial, or civic/institutional). Could include uses compatible with the CD, CH, or LI zoning districts. Limited residential uses may also be appropriate within the context of a mixed-use development containing other non-residential uses.
- **Rural** – areas that are expected to remain primarily rural, and primarily consistent with the RA zoning district.



# Town of Micro - Future Land Use Map

- |                                   |                                     |
|-----------------------------------|-------------------------------------|
| <b>Future Land Use Categories</b> | Extra-territorial Jurisdiction (ET) |
| Rural                             | Parcels                             |
| Urban Non-residential             | Streets & Highways                  |
| Urban Residential                 | Railroads                           |
| Town Limits                       | Streams & Rivers                    |

Map Date  
January 2019

Prepared by  
Triangle J Council  
of Governments

